

86 planning applications received in the past seven days.



Weekly Planning Report

31 August – 07 September 2025

Planning Applications Summary



Applications at a Glance

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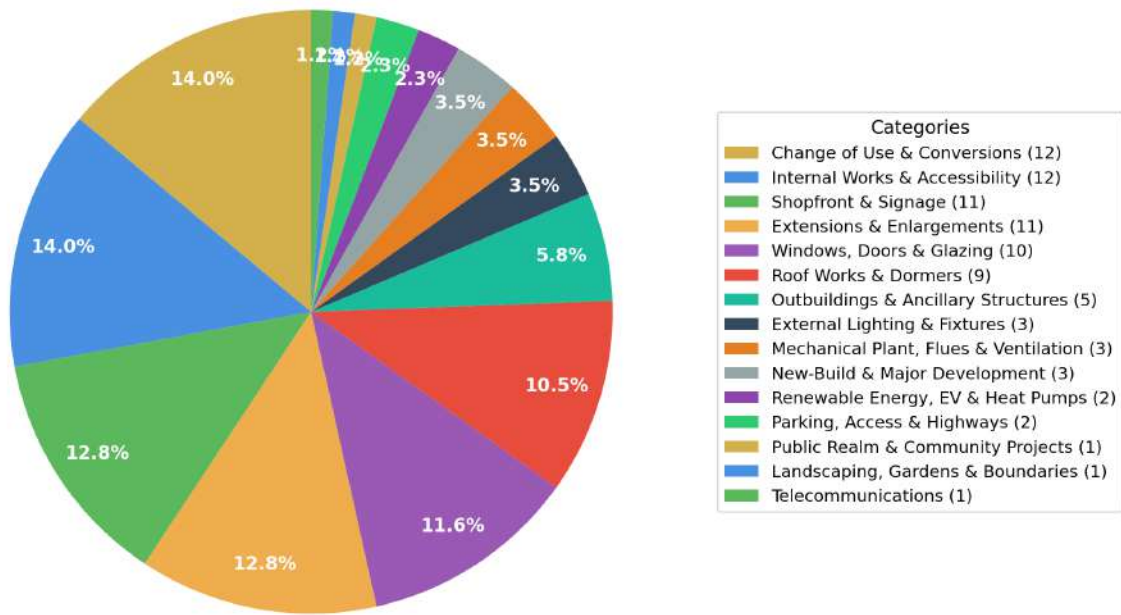
Executive Summary

Total Applications	86
Top 1 Category	Change of Use & Conversions (12)
Top 2 Category	Internal Works & Accessibility (12)
Top 3 Category	Shopfront & Signage (11)

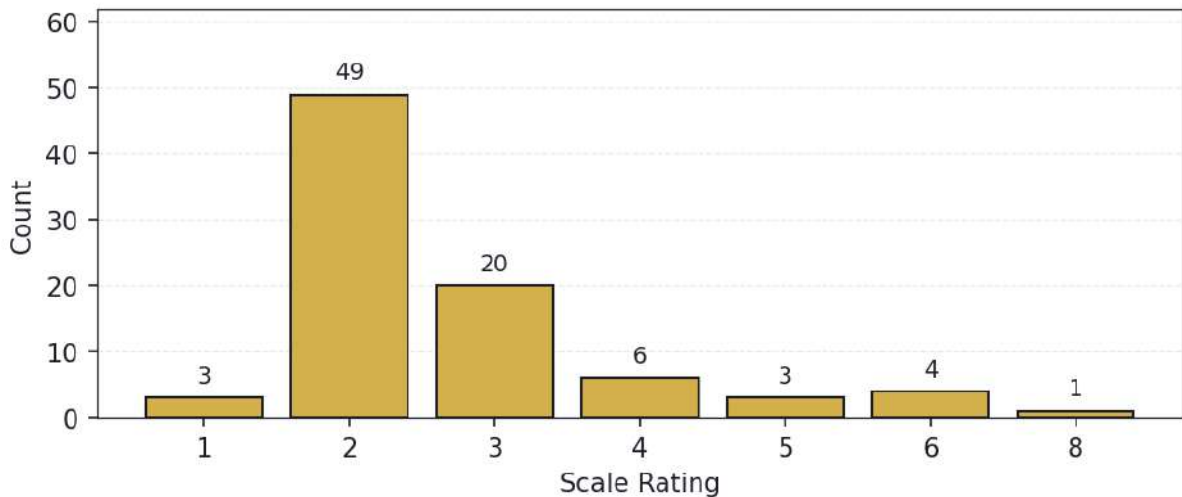


Category Breakdown & Scale Distribution

Applications by Category



Applications by Scale Rating





Application 25/04488/FUL

Reference Number:	25/04488/FUL	Date Received:	01 September 2025
Category:	New-Build & Major Development	Scale Rating:	8/10

Property Address

140 Causewayside Edinburgh EH9 1PR

Official Description

Demolition of existing building and erection of purpose-built student accommodation with landscaping, infrastructure, access, and associated works.

AI Summary

Replace current building with multi-storey student residence plus amenity space, green areas and upgraded access after full site clearance. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04290/FUL

Reference Number:	25/04290/FUL	Date Received:	20 August 2025
Category:	Change of Use & Conversions	Scale Rating:	6/10

Property Address

Unit 3 2F & 3F 146 Duddingston Road West Duddingston Edinburgh EH16 4AP

Official Description

Change of use from industrial units to class 7 Hotel.

AI Summary

Conversion of former industrial building on Duddingston Rd West into multi-storey hotel, with full internal replan, heritage-style glazing, insulation and roof repairs. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04472/FUL

Reference Number:	25/04472/FUL	Date Received:	29 August 2025
Category:	Renewable Energy, EV & Heat Pumps	Scale Rating:	6/10

Property Address

Proposed Energy Centre 350 Metres South Of East Lodge 100 The Wisp Edinburgh

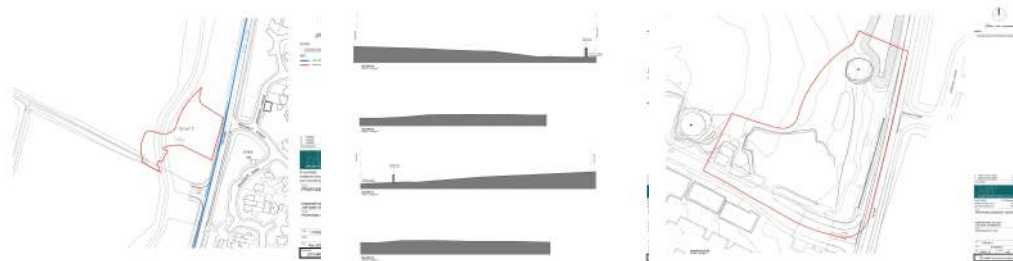
Official Description

Erection of Energy Centre, including access, external plant, district heating network pipework, landscaping and all other associated works.

AI Summary

Stand-alone energy centre with boilers, flues, external plant and buried pipework for a local district-heating loop, plus new access road and landscaping. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04418/LBC

Reference Number:	25/04418/LBC	Date Received:	27 August 2025
Category:	Extensions & Enlargements	Scale Rating:	6/10

Property Address

49 Mitchell Street South Leith Edinburgh EH6 7BD

Official Description

Extension to hotel.

AI Summary

Multi-level annex would expand guest rooms, reconfigure lounge, dining, kitchen and back-of-house areas, replacing rear parking at 49 Mitchell Street hotel. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04431/FUL

Reference Number:	25/04431/FUL	Date Received:	27 August 2025
Category:	New-Build & Major Development	Scale Rating:	6/10

Property Address

191 Colinton Road Edinburgh EH14 1BJ

Official Description

Erection of 4 storey flatted development containing 8 flats on the site of previously demolished bungalow with associated landscaping, access and parking proposed as part of the scheme.

AI Summary

Four-storey block of 8 apartments, landscaped grounds, cycle bays, and on-site parking planned to replace cleared bungalow on Colinton Road. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04019/PPP

Reference Number:	25/04019/PPP	Date Received:	04 August 2025
Category:	New-Build & Major Development	Scale Rating:	5/10

Property Address

Land 8 Metres South Of 4 Kirk Loan Edinburgh

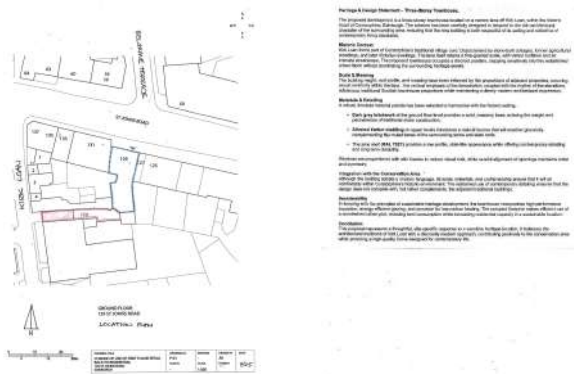
Official Description

Proposed new three storey single dwelling development.

AI Summary

Three-storey townhouse on Kirk Loan, Corstorphine; dark grey brick base, timber-clad upper floors and zinc roof, fitting within conservation lane context. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04008/FUL

Reference Number:	25/04008/FUL	Date Received:	04 August 2025
Category:	Change of Use & Conversions	Scale Rating:	5/10

Property Address

Lochend Industrial Estate 2 Queen Anne Drive Ratho Station Newbridge EH28 8LH

Official Description

Change of use of vacant warehouse to Sui Generis vehicle hire; Install new garage doors and waste doors; Form new vehicle charging bays and additional parking bays.

AI Summary

Vacant warehouse to become vehicle-hire centre with maintenance bay, new roller and waste doors, expanded parking plus EV charging bays. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04346/LBC

Reference Number:	25/04346/LBC	Date Received:	21 August 2025
Category:	Internal Works & Accessibility	Scale Rating:	4/10

Property Address

Dalmeny House Dalmeny Estate South Queensferry EH30 9TQ

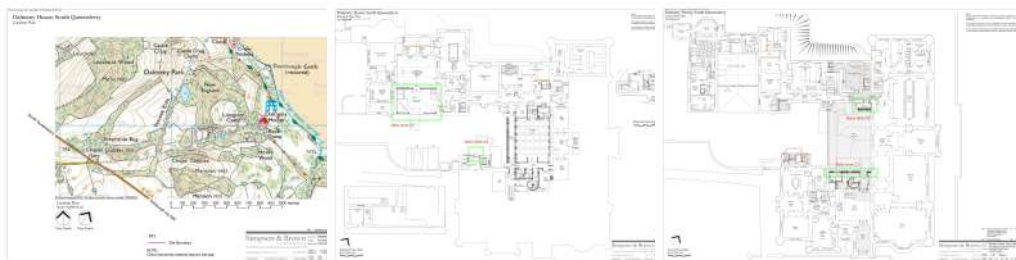
Official Description

Listed Building Consent to carry out alterations to Dalmeny House so that the accommodation was better suited to the needs of the present day has already been obtained. As work on site has progressed minor adjustments to the proposals have been required and this application is being made in respect of these changes. No alteration to the overall use, its stewardship or other significant alterations affecting the character of the historic building are being made.

AI Summary

Minor design tweaks to previously approved Dalmeny House refurb, refining internal layouts and services without changing its use or historic character. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04533/LBC

Reference Number:	25/04533/LBC	Date Received:	02 September 2025
Category:	Extensions & Enlargements	Scale Rating:	4/10

Property Address

BF 19 Grosvenor Crescent New Town Edinburgh EH12 5EL

Official Description

Form single storey kitchen/dining extension and alter landscaping to rear, change existing window to glazed door to rear, build garden room to rear.

AI Summary

Plans add a single-storey rear kitchen-diner, swap a rear window for glazed doors, reshape the garden and introduce a detached timber garden room. .

Supporting Documents



Site location map
25/04533/LBC
25/04533/LBC

Additional Information

[View full application on planning portal](#)



Application 25/04370/FUL

Reference Number:	25/04370/FUL	Date Received:	25 August 2025
Category:	Extensions & Enlargements	Scale Rating:	4/10

Property Address

37 Barnton Avenue Davidson's Mains Edinburgh EH4 6JJ

Official Description

1st floor extension above existing offshoot and new dormer window to adjacent roof.

AI Summary

First-floor built over the side offshoot plus new dormer in adjacent roof, boosting living space while keeping footprint intact. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04469/FUL

Reference Number:	25/04469/FUL	Date Received:	29 August 2025
Category:	Change of Use & Conversions	Scale Rating:	4/10

Property Address

26 Bankhead Drive South Gyle Edinburgh EH11 4DJ

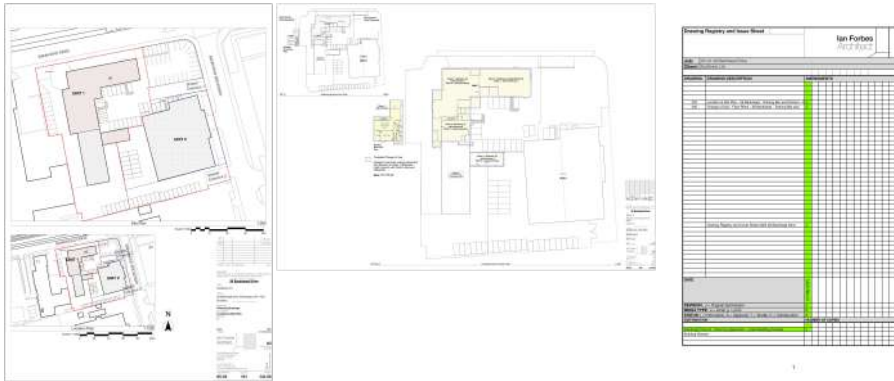
Official Description

Change of use of Building Unit 1 from a car showroom to business, light industry and general industry (class 4 & 5) at 26 Bankhead Drive.

AI Summary

Unit 1, 26 Bankhead Dr may swap car showroom use for Class 4/5 business, light and general industry, repurposing c.1,100 m floorspace and retaining shared parking. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04329/FUL

Reference Number:	25/04329/FUL	Date Received:	21 August 2025
Category:	Change of Use & Conversions	Scale Rating:	4/10

Property Address

Cameron House Nursery 9 Cameron House Avenue Edinburgh EH16 5LF

Official Description

Change of use from former children's nursery (Class 10) to single private dwelling (Class 9), with internal alterations and the formation of a new access from Cameron Park through the boundary wall, providing delivery /drop off point, bicycle storage, and bin storage and new access stairs to the house. No external alterations are proposed to the listed building. All listed features under LB43142 remain unaffected.

AI Summary

Former nursery may become one private home, with internal re-layout plus new gated opening in Cameron Park wall for deliveries, bins, bikes and steps; listed fabric untouched. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04189/CLP

Reference Number:	25/04189/CLP	Date Received:	14 August 2025
Category:	Extensions & Enlargements	Scale Rating:	4/10

Property Address

24 South Gyle Crescent Edinburgh EH12 9EB

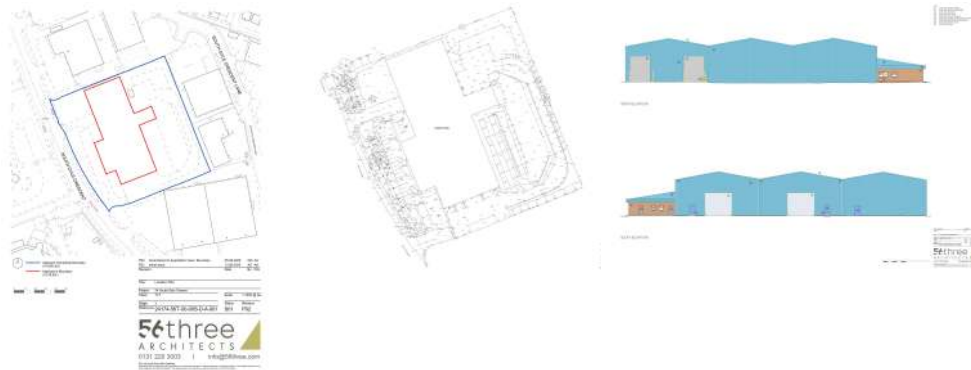
Official Description

Replacement of external wall cladding to existing building.

AI Summary

Full replacement of metal wall cladding on the South Gyle warehouse, refreshing faades without altering height or footprint. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04516/CLP

Reference Number:	25/04516/CLP	Date Received:	02 September 2025
Category:	Change of Use & Conversions	Scale Rating:	3/10

Property Address

33 Scotland Street Broughton Edinburgh EH3 6PY

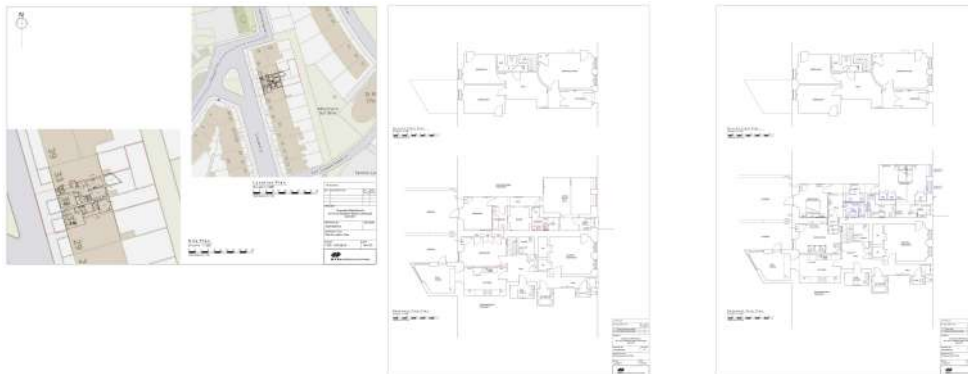
Official Description

Internal and external alterations to combine two flatted dwellings into one property and to replace the existing door-set and window and window on the front elevation.

AI Summary

Combines two adjacent flats into one larger dwelling, reconfiguring internal rooms and fitting a new front door and window. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04540/LBC

Reference Number:	25/04540/LBC	Date Received:	03 September 2025
Category:	Internal Works & Accessibility	Scale Rating:	3/10

Property Address

49 Grange Road Grange Edinburgh EH9 1UF

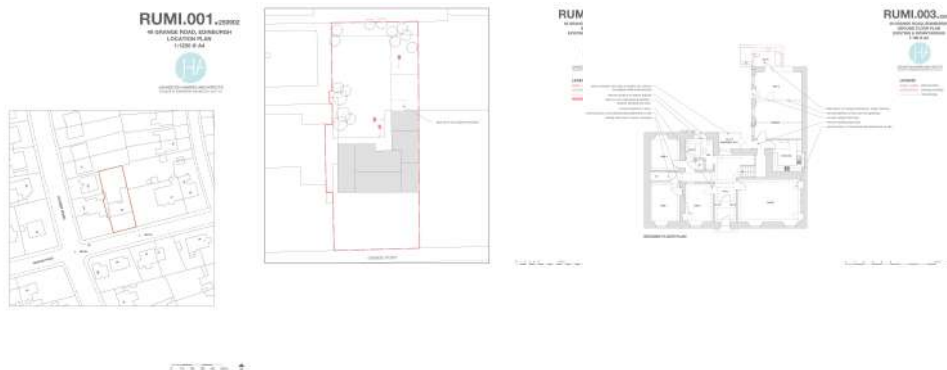
Official Description

Proposed internal alterations to arrangement, as well as removal of non-original single storey extension to the rear.

AI Summary

Reconfigures ground-floor rooms, reinstates original openings, and removes later rear lean-to, restoring facade and light to garden. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04526/LBC

Reference Number:	25/04526/LBC	Date Received:	02 September 2025
Category:	Shopfront & Signage	Scale Rating:	3/10

Property Address

77A George Street New Town Edinburgh EH2 3ES

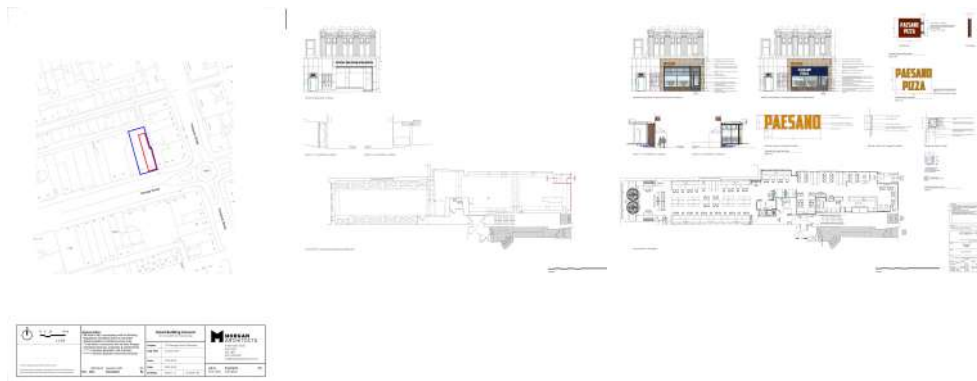
Official Description

Listed building consent for frontage alterations, signage and awning fixings and internal alterations.

AI Summary

Reconfigure listed 77A George St for Paesano Pizza with refreshed shopfront, timber cladding, glazed doors, illuminated signs, recessed awning and full interior fit-out. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04384/FUL

Reference Number:	25/04384/FUL	Date Received:	25 August 2025
Category:	Renewable Energy, EV & Heat Pumps	Scale Rating:	3/10

Property Address

2 St Andrew Place South Leith Edinburgh EH6 7EG

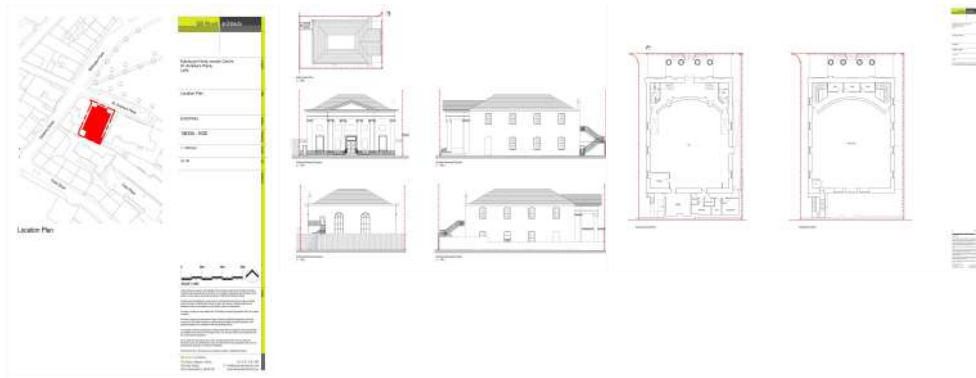
Official Description

Installation of flagpole, solar PV panels and air to air heat pumps

AI Summary

Adds roof-mounted solar array, discreet air-to-air heat pumps and a new flagpole to the Hindu Mandir building to boost sustainability and visibility. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04341/LBC

Reference Number:	25/04341/LBC	Date Received:	21 August 2025
Category:	Internal Works & Accessibility	Scale Rating:	3/10

Property Address

1F - 4F 71A, 73-75 George Street New Town Edinburgh EH2 3EE

Official Description

Proposed new openings at lower ground, ground and first floor, to link 71A George Street and 73 George Street to facilitate aparthotel operations.

AI Summary

Form wall openings across lower ground, ground and first floors to link 71A and 73-75 George Street, enabling seamless aparthotel circulation. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04328/FUL

Reference Number:	25/04328/FUL	Date Received:	21 August 2025
Category:	Mechanical Plant, Flues & Ventilation	Scale Rating:	3/10

Property Address

7 Claylands Road Edinburgh EH28 8LF

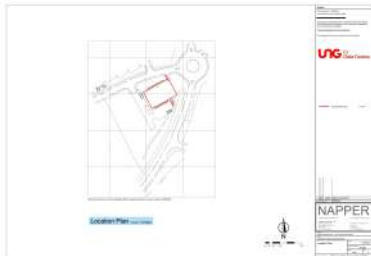
Official Description

The proposals are 3 No. new louvres to be installed on the south elevation and 12 No. and 4 No. future new condenser units installed on the south and north elevations.

AI Summary

Adds three louvres and up to sixteen condenser units on northsouth sides of Pulsant data hub to boost cooling capacity. .

Supporting Documents



NAPPER
 KDA
Design and Access Statement
 Project: 25/04328/FUL
 Address: 7 Claylands Rd



- 1.0 Introduction
- 1.1 Background
- 1.2 Location, Context and Constraints
- 1.3 The Proposal
- 1.4 Design and Access Statement
- 1.5 Appendix

Additional Information

[View full application on planning portal](#)



Application 25/04471/FUL

Reference Number:	25/04471/FUL	Date Received:	29 August 2025
Category:	Shopfront & Signage	Scale Rating:	3/10

Property Address

11A, 11B Lawhouse Toll Fort Kinnaird Retail Park Edinburgh EH15 3RH

Official Description

New glazed front system and alterations to canopy, opening up between two existing units.

AI Summary

Install full-height glazed frontage and adjust canopy, uniting two existing Superdrug units at Fort Kinnaird into one open retail space. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04531/FUL

Reference Number:	25/04531/FUL	Date Received:	02 September 2025
Category:	Extensions & Enlargements	Scale Rating:	3/10

Property Address

BF 19 Grosvenor Crescent New Town Edinburgh EH12 5EL

Official Description

Form single storey kitchen/dining extension and alter landscaping to rear, change existing window to glazed door to rear, build garden room to rear.

AI Summary

Rear single-storey kitchen-diner extension, swap one rear window for glazed door, update landscaping and add detached timber garden room. .

Supporting Documents



Site location Plan
25/04531/FUL
25/04531/FUL

Additional Information

[View full application on planning portal](#)



Application 25/04440/FUL

Reference Number:	25/04440/FUL	Date Received:	28 August 2025
Category:	Extensions & Enlargements	Scale Rating:	3/10

Property Address

63 Craigcrook Road Edinburgh EH4 3PH

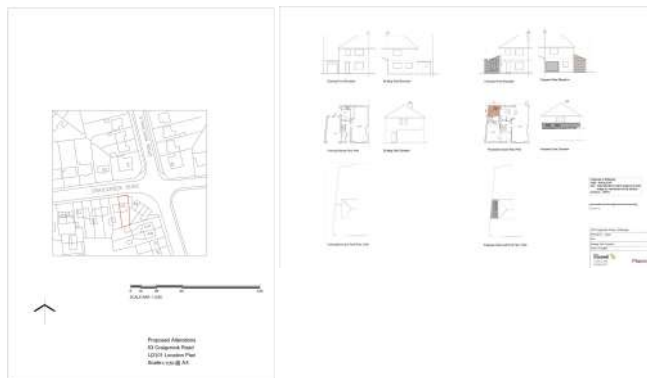
Official Description

Proposed garage conversion, with new lean-to roof, and infill rear extension.

AI Summary

Garage converted to living space with facing-brick lean-to roof and slim single-storey rear infill extension. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04484/LBC

Reference Number:	25/04484/LBC	Date Received:	01 September 2025
Category:	Roof Works & Dormers	Scale Rating:	3/10

Property Address

Flat 17 27 Dean Park Street Edinburgh EH4 1JY

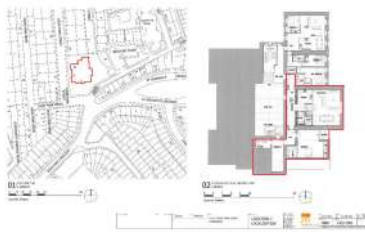
Official Description

Proposed roof terrace and access.

AI Summary

Flat 17 may add a roof terrace with new hatch or stair access and balustrades, bringing modest rooftop use to Dean Park Street. .

Supporting Documents



27 Dean Park Street,
Design and Sustainability
Statement
August 2025

- Contents:
- 1. Introduction
 - 2. Site Appraisal
 - 3. Design Statement
 - Concept
 - Design Solution
 - 4. Sustainability Statement

Additional Information

[View full application on planning portal](#)



Application 25/04391/LBC

Reference Number:	25/04391/LBC	Date Received:	25 August 2025
Category:	Internal Works & Accessibility	Scale Rating:	3/10

Property Address

2F 19 Belgrave Crescent Dean Edinburgh EH4 3AJ

Official Description

Internal alterations and refurbishment

AI Summary

Reconfigures top-floor rooms, opens kitchen-diner, adds snug, upgrades plumbing, replaces all sash windows with slimline timber double-glazed units. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04330/LBC

Reference Number:	25/04330/LBC	Date Received:	21 August 2025
Category:	Change of Use & Conversions	Scale Rating:	3/10

Property Address

Cameron House Nursery 9 Cameron House Avenue Edinburgh EH16 5LF

Official Description

Change of use from former children's nursery (Class 10) to single private dwelling (Class 9), with internal alterations and the formation of a new access from Cameron Park through the boundary wall, providing delivery /drop off point, bicycle storage, and bin storage and new access stairs to the house. No external alterations are proposed to the listed building. All listed features under LB43142 remain unaffected.

AI Summary

Converts the listed former Cameron House Nursery into a single home; internal re-layout only with new Cameron Park gate for drop-off, bikes, bins and access stairs. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04312/FUL

Reference Number:	25/04312/FUL	Date Received:	21 August 2025
Category:	Extensions & Enlargements	Scale Rating:	3/10

Property Address

5 Malachi Green Kirkliston EH29 9FT

Official Description

Renovation and extension to existing dwelling.

AI Summary

Rear single-storey brick-clad extension with sliding glazed doors and internal modernisation to family home at 5 Malachi Green, enlarging living-kitchen area. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04478/FUL

Reference Number:	25/04478/FUL	Date Received:	29 August 2025
Category:	Roof Works & Dormers	Scale Rating:	3/10

Property Address

17 Beresford Avenue Trinity Edinburgh EH5 3EU

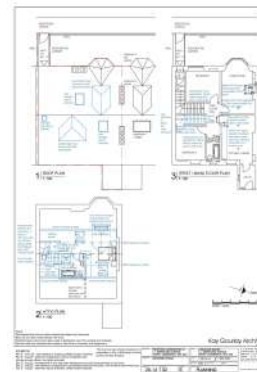
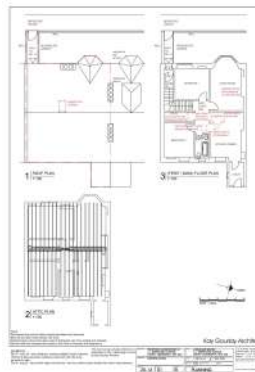
Official Description

Attic conversion with front and back dormers and rooflights.

AI Summary

Convert attic into extra living space with pitched dormers front and rear plus new rooflights, matching slate and UPVC details to fit terrace setting. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04514/FUL

Reference Number:	25/04514/FUL	Date Received:	02 September 2025
Category:	Extensions & Enlargements	Scale Rating:	3/10

Property Address

43 Broompark Road Broomhall Edinburgh EH12 7JZ

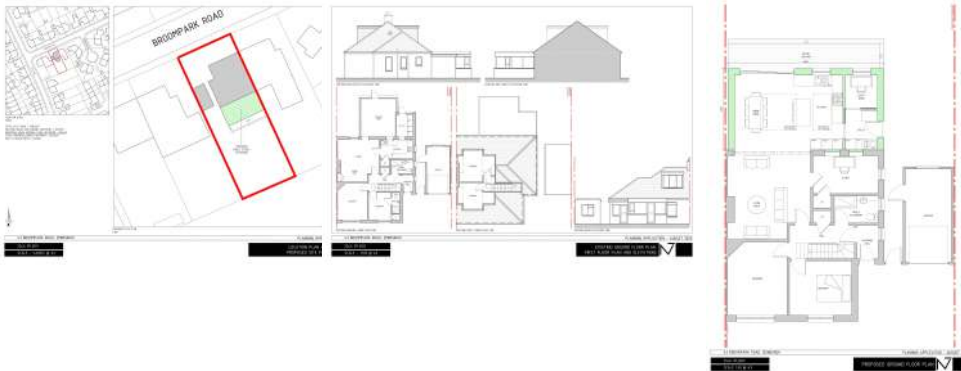
Official Description

Proposed rear extension and internal alterations.

AI Summary

Single-storey rear addition for open-plan kitchen-dining and craft room, with internal re-layout of utility, study and bathrooms. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/03980/FUL

Reference Number:	25/03980/FUL	Date Received:	01 August 2025
Category:	Mechanical Plant, Flues & Ventilation	Scale Rating:	3/10

Property Address

137 Lauriston Place Edinburgh EH3 9JN

Official Description

Alterations to Class 3 to allow full cooking and erection of 2 flues to front of property.

AI Summary

Ground-floor unit on Lauriston Place seeks full hot food use; two black metal extraction flues would run up the front facade to roof level. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04334/CLP

Reference Number:	25/04334/CLP	Date Received:	21 August 2025
Category:	Telecommunications	Scale Rating:	3/10

Property Address

Proposed Telecomms Apparatus 177 Metres North West Of 16 Logie Green Road Edinburgh

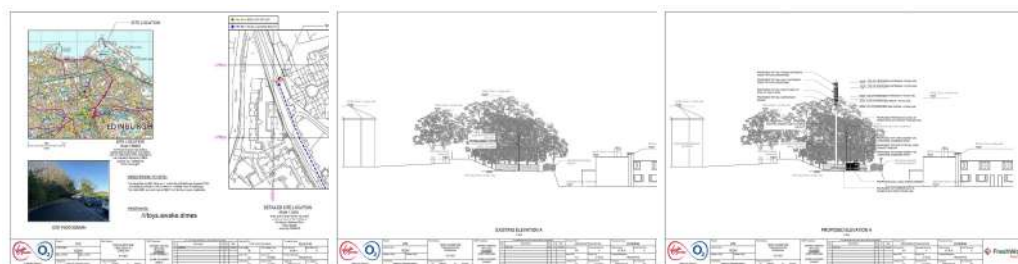
Official Description

Proposed installation of a telecommunications base station, comprising a 20m monopole supporting 6 No. antennas and 2 No. dishes, together with 2 No. ground-based equipment and ancillary development thereto. The development has deemed consent in accordance with the detail as submitted under application reference: 25/02044/TELE as the LPA failed to notify the developer in writing of their determination as to whether prior approval is required within 56 days.

AI Summary

20 m telecom monopole with six antennas, two dishes and ground cabinets planned on supermarket car-park edge to boost local mobile coverage. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04474/FUL

Reference Number:	25/04474/FUL	Date Received:	29 August 2025
Category:	Extensions & Enlargements	Scale Rating:	3/10

Property Address

8 Fraser Grove Boswall Edinburgh EH5 2AL

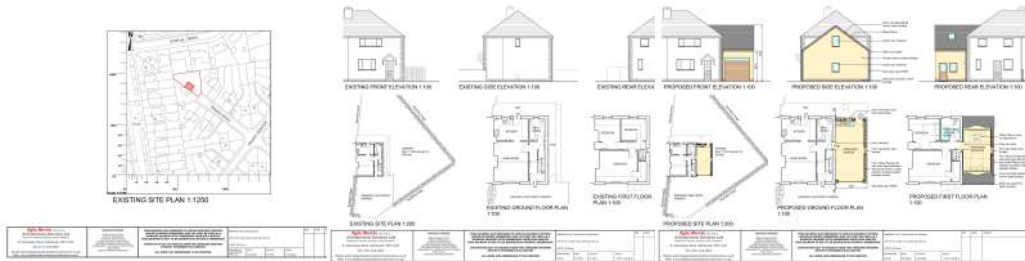
Official Description

Proposed 1 and a half storey side extension.

AI Summary

Add pitched-roof side extension with ground-floor garage and first-floor bedroom/shower, matching materials to existing semi. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04443/FUL

Reference Number:	25/04443/FUL	Date Received:	28 August 2025
Category:	Outbuildings & Ancillary Structures	Scale Rating:	3/10

Property Address

27 Park Road Edinburgh EH6 4LA

Official Description

Alter existing openings to enhance light and access with associated landscaping; Install new heat pump and double glazing with essential roof and rainwater repairs and convert garage into an artist's studio.

AI Summary

Revamp to end-terrace house: new rear door, double glazing, GS heat pump, slate roof repairs, garden upgrades, garage turned into light-filled artist studio. .

Supporting Documents



Oxalin Architects

27 Park Road Edinburgh EH6 4LA
 Design Statement
 Ref: 25/04443/FUL

1.0 Introduction
 This application seeks planning permission for alterations and improvements to the existing building at 27 Park Road, Edinburgh EH6 4LA.

27 Park Road is a two-story end-terrace house located within the Edinburgh Conservation Area. The building was developed in the late 19th century and is a listed building.

1.1 Description of the Property
 The existing building is a two-story end-terrace house with a slate roof, double fronted windows, and a rear garden. The property is currently used as a residential dwelling.

The proposed alterations include:
 - Replacement of the rear door with a new rear door.
 - Installation of double glazing.
 - Installation of a ground source heat pump.
 - Repairs to the slate roof and rainwater system.
 - Conversion of the garage into an artist's studio.

The proposed alterations are designed to enhance the building's appearance, improve its energy efficiency, and provide a new rear door and access to the rear garden. The alterations are in keeping with the character and appearance of the original building and will not harm the conservation area.

2.0 Statement of Design Intent
 The proposed alterations are designed to enhance the building's appearance, improve its energy efficiency, and provide a new rear door and access to the rear garden. The alterations are in keeping with the character and appearance of the original building and will not harm the conservation area.

3.0 Statement of Impact
 The proposed alterations are designed to enhance the building's appearance, improve its energy efficiency, and provide a new rear door and access to the rear garden. The alterations are in keeping with the character and appearance of the original building and will not harm the conservation area.

4.0 Statement of Conclusion
 The proposed alterations are designed to enhance the building's appearance, improve its energy efficiency, and provide a new rear door and access to the rear garden. The alterations are in keeping with the character and appearance of the original building and will not harm the conservation area.

Oxalin Architects Ltd, Registration Number SC091007
 Registered Office: 4 Albany Street, Edinburgh EH1 1JH

Page 1 of 1

Additional Information

[View full application on planning portal](#)



Application 25/04420/FUL

Reference Number:	25/04420/FUL	Date Received:	27 August 2025
Category:	Extensions & Enlargements	Scale Rating:	3/10

Property Address

6 Roull Road Broomhall Edinburgh EH12 7JS

Official Description

Single story extension to the rear property, adjoining the exiting house and garage and installation of new roof light.

AI Summary

Rear single-storey link extension connecting house to garage, with new rooflight to brighten the revamped living space. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04156/ADV

Reference Number:	25/04156/ADV	Date Received:	12 August 2025
Category:	Shopfront & Signage	Scale Rating:	2/10

Property Address

20 Easter Drylaw Place Easter Drylaw Edinburgh EH4 2QF

Official Description

Advertisement of the following types : Fascia Signage

AI Summary

New fascia sign for the shopfront, introducing branded lettering across the existing frontage. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04522/CLP

Reference Number:	25/04522/CLP	Date Received:	02 September 2025
Category:	Windows, Doors & Glazing	Scale Rating:	2/10

Property Address

471 Gorgie Road Gorgie Edinburgh EH11 3AD

Official Description

Change glazing on front elevation.

AI Summary

Replace front elevation glazing at martial arts studio, swapping existing multi-panel windows for full-height panes. .

Supporting Documents



25/04522/CLP
25/04522/CLP
25/04522/CLP

Additional Information

[View full application on planning portal](#)



Application 25/04530/ADV

Reference Number:	25/04530/ADV	Date Received:	02 September 2025
Category:	Shopfront & Signage	Scale Rating:	2/10

Property Address

77A George Street New Town Edinburgh EH2 3ES

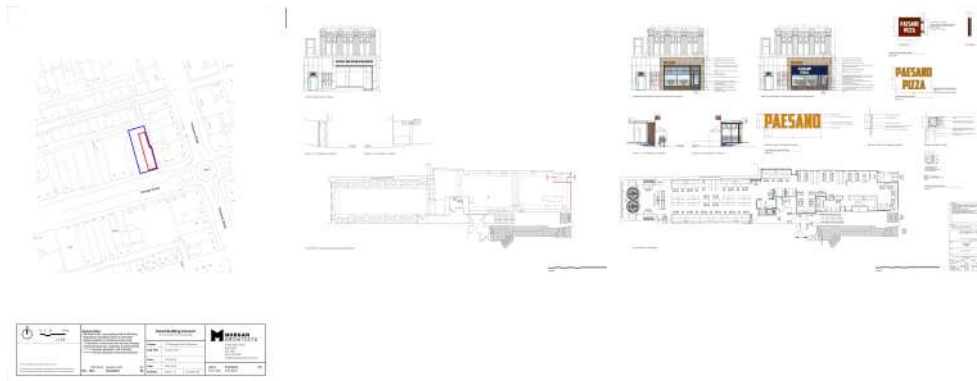
Official Description

Advertisement of the following types : Fascia Sign, Canopy, Projecting Signwindow vinyls.

AI Summary

New fascia, recessed canopy, projecting sign and branded window vinyls proposed for ground-floor unit on George Street, refreshing the listed shopfront. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04470/ADV

Reference Number:	25/04470/ADV	Date Received:	29 August 2025
Category:	Shopfront & Signage	Scale Rating:	2/10

Property Address

11A, 11B Lawhouse Toll Fort Kinnaird Retail Park Edinburgh EH15 3RH

Official Description

Fascia sign, canopy.

AI Summary

Updated Superdrug frontage at Fort Kinnaird: new fascia signage and refreshed canopy over entrance, no change to building footprint. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04321/LBC

Reference Number:	25/04321/LBC	Date Received:	21 August 2025
Category:	Windows, Doors & Glazing	Scale Rating:	2/10

Property Address

2F 72 Great King Street Edinburgh EH3 6QU

Official Description

Existing single glazed timber sash and case windows replaced with new double glazed timber sash and case windows to match existing.

AI Summary

Replacing single-glazed sash windows with matching timber double-glazed units at 72 Great King St, retaining facade character and boosting energy efficiency. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04045/FUL

Reference Number:	25/04045/FUL	Date Received:	05 August 2025
Category:	Outbuildings & Ancillary Structures	Scale Rating:	2/10

Property Address

Clubhouse, Lothianburn Golf Club 106 Biggar Road Edinburgh EH10 7DU

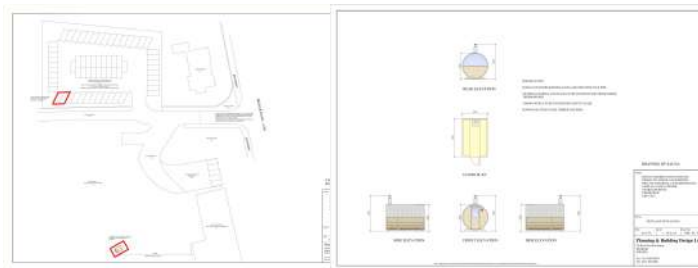
Official Description

Siting a mobile sauna for use Friday to Sunday on existing private external land previously used as a golf course.

AI Summary

Mobile timber-barrel sauna on former golf-course land, weekend-only use; low-impact siting on sleepers with existing parking retained. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04155/FUL

Reference Number:	25/04155/FUL	Date Received:	12 August 2025
Category:	External Lighting & Fixtures	Scale Rating:	2/10

Property Address

20 Easter Drylaw Place Easter Drylaw Edinburgh EH4 2QF

Official Description

The installation of an automated teller machine.

AI Summary

Install freestanding cash machine on shopfront at Easter Drylaw Place with modest facade alterations for secure housing. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04405/ADV

Reference Number:	25/04405/ADV	Date Received:	26 August 2025
Category:	Shopfront & Signage	Scale Rating:	2/10

Property Address

6 Infirmary Street Edinburgh EH1 1LT

Official Description

Large letters, mounted on ground within building curtilage.

AI Summary

Freestanding FRINGE letters on low plinth by Infirmary St entrance, needing small section of railings removed for installation. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04509/LBC

Reference Number:	25/04509/LBC	Date Received:	01 September 2025
Category:	Internal Works & Accessibility	Scale Rating:	2/10

Property Address

21 Belgrave Crescent Dean Edinburgh

Official Description

To install modern power supply to the three flats with new distribution board, replacement metal trunking in communal areas, new fuses and some PVC trunking to take the supply to individual flats.

AI Summary

Upgrade communal electrics: new mains supply, distribution board, metal trunking in shared areas, PVC routes to each of three flats. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04333/LBC

Reference Number:	25/04333/LBC	Date Received:	21 August 2025
Category:	Roof Works & Dormers	Scale Rating:	2/10

Property Address

3 Magdala Mews Edinburgh EH12 5BX

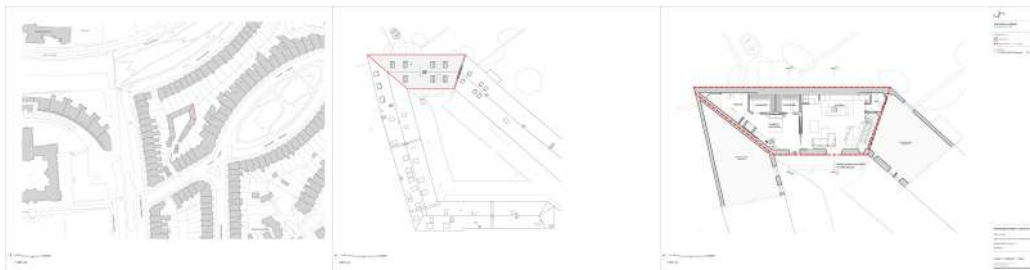
Official Description

Rebuild and relocate chimney and form Juliette balcony. Remove approved skylights from proposals.

AI Summary

Chimney repositioned and rebuilt to match original, central skylight dropped, and one first-floor window becomes a Juliet balcony. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04376/LBC

Reference Number:	25/04376/LBC	Date Received:	25 August 2025
Category:	Internal Works & Accessibility	Scale Rating:	2/10

Property Address

BF 6 Rothesay Terrace New Town Edinburgh EH3 7RY

Official Description

Replace windows to rear, form 2 new en suite shower rooms.

AI Summary

Rear timber-framed windows swapped out and two en-suite showers added within the existing lower-ground layout. .

Supporting Documents



Small text or logo at the bottom left of the supporting documents area.

Additional Information

[View full application on planning portal](#)



Application 25/04356/LBC

Reference Number:	25/04356/LBC	Date Received:	22 August 2025
Category:	Roof Works & Dormers	Scale Rating:	2/10

Property Address

57 Oxgangs Road Swanston Edinburgh EH10 7BD

Official Description

Conversion of attic space with 3no rooflights and introduction of solar panels

AI Summary

Attic conversion with three rooflights and discreet roof-mounted solar panels, boosting natural light and renewable power without altering the buildings footprint.

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04368/LBC

Reference Number:	25/04368/LBC	Date Received:	25 August 2025
Category:	Public Realm & Community Projects	Scale Rating:	2/10

Property Address

Kenneth Mackenzie Suite 7 Richmond Place Newington Edinburgh EH8 9ST

Official Description

The proposal is to create a mural at the locations highlighted on the drawing enclosed, enhancing its visual appeal while respecting the structure's integrity.

AI Summary

Large-format artwork planned for KM Hotels gable, archway tunnel and courtyard walls, adding bold ribbon-themed imagery to enliven Richmond Place frontage. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04545/LBC

Reference Number:	25/04545/LBC	Date Received:	03 September 2025
Category:	Windows, Doors & Glazing	Scale Rating:	2/10

Property Address

28 Dunrobin Place Stockbridge Edinburgh EH3 5HZ

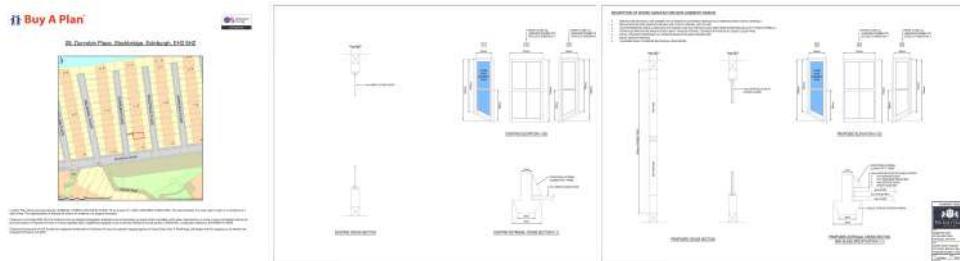
Official Description

Replace the existing single glazed sash and case windows with double glazed upgrades. Full restoration of the original case, manufacture and install like-for-like sashes with Heritage 'Slimlite' double glazing.

AI Summary

Upgrading existing sash windows to heritage-style Slimlite double glazing while retaining and restoring original timber cases. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04517/FUL

Reference Number:	25/04517/FUL	Date Received:	02 September 2025
Category:	Change of Use & Conversions	Scale Rating:	2/10

Property Address

139 West Port Old Town Edinburgh EH3 9DP

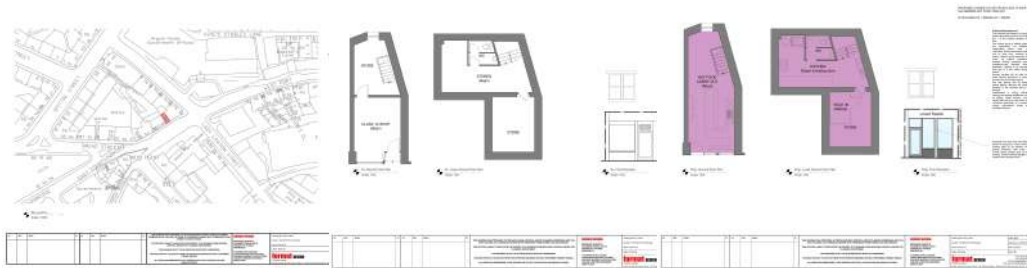
Official Description

Change of use from shop to hot food takeaway.

AI Summary

Convert existing shop into a hot-food takeaway with kitchen fit-out and minor internal tweaks.

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04528/FUL

Reference Number:	25/04528/FUL	Date Received:	02 September 2025
Category:	Shopfront & Signage	Scale Rating:	2/10

Property Address

77A George Street New Town Edinburgh EH2 3ES

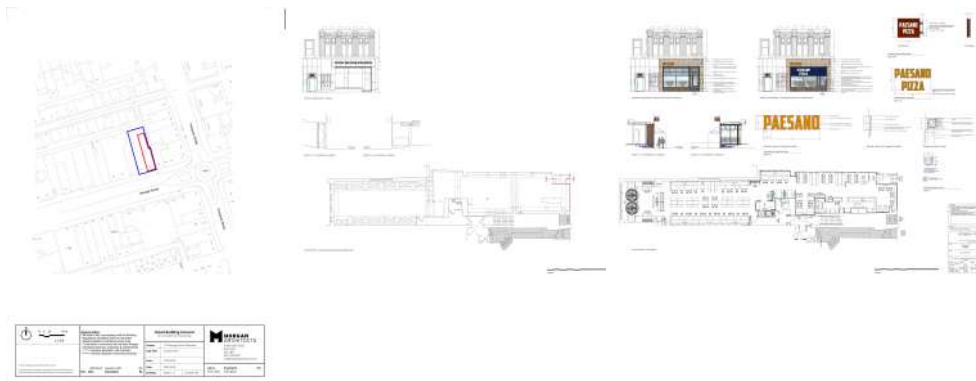
Official Description

Alterations to frontage details

AI Summary

Replaces existing shopfront with contemporary glazed frontage, timber cladding, retractable awning and illuminated Paesano Pizza signage on George St. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04519/LBC

Reference Number:	25/04519/LBC	Date Received:	02 September 2025
Category:	Internal Works & Accessibility	Scale Rating:	2/10

Property Address

27 Rutland Square West End Edinburgh EH1 2BW

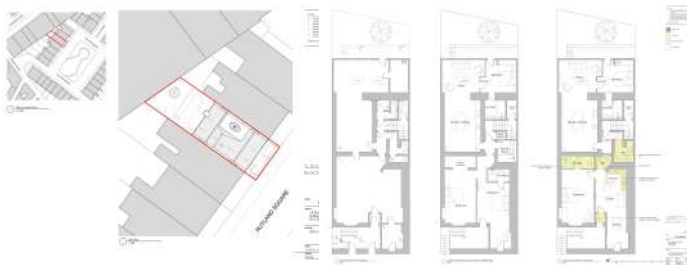
Official Description

Internal alterations to lower ground floor: 1. Ensuite removed for Kitchen. 2. Walk in wardrobe to bedroom altered to Ensuite. 3. Shower room altered to WC. 4. Additional WC.

AI Summary

Reworks lower-ground layout: swap former ensuite for kitchen, convert wardrobe to ensuite, turn shower into WC, add an extra WC. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 24/02945/VARY

Reference Number:	24/02945/VARY	Date Received:	18 August 2025
Category:	Windows, Doors & Glazing	Scale Rating:	2/10

Property Address

2 Belmont Gardens Edinburgh EH12 6JH

Official Description

Variation to external elevation proposed. Door opening to outside no longer proposed from Kitchen and Master Bedroom Existing window opening retained at Bedroom 2. Due to age and condition of existing window these are now all to be replaced. Minor internal layout and landscaping works variation as per amended drawings.

AI Summary

Revised house scheme removes external doors from kitchen & master, retains bedroom-2 window, replaces all windows, and makes light internal and garden tweaks. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04506/CLP

Reference Number:	25/04506/CLP	Date Received:	01 September 2025
Category:	Extensions & Enlargements	Scale Rating:	2/10

Property Address

GF 6 Upper Coltbridge Terrace Edinburgh EH12 6AD

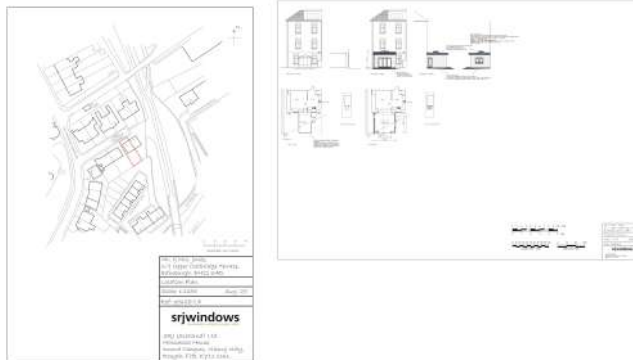
Official Description

Erection of an extension.

AI Summary

Single-storey rear extension enlarging ground-floor living area with full-width glazing and flat-roof lantern, modest footprint within garden. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04231/LBC

Reference Number:	25/04231/LBC	Date Received:	18 August 2025
Category:	Internal Works & Accessibility	Scale Rating:	2/10

Property Address

11 Brunstane Road North Edinburgh EH15 2DL

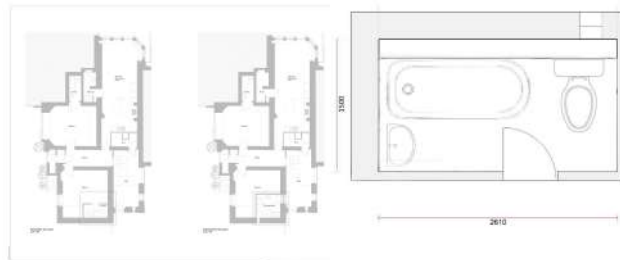
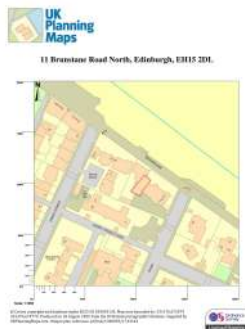
Official Description

An existing en-suite bathroom will be enlarged to create a new guest and family bathroom, designed to be future-proofed for full wheelchair accessibility. A previously infilled window will be reopened to provide natural ventilation and reinstate the original layout.

AI Summary

Enlarges current en-suite into wheelchair-ready family bathroom and reopens a previously blocked window for fresh light and airflow. .

Supporting Documents



Planning Application No: 25/04231/LBC
Scottish Government No: 100721681-002
Existing Floor Plan
Scale 1:100cm
McHeskin+Kemp
11 Brunstane Road North
EH15 2DL

Additional Information

[View full application on planning portal](#)



Application 25/04367/ADV

Reference Number:	25/04367/ADV	Date Received:	25 August 2025
Category:	Shopfront & Signage	Scale Rating:	2/10

Property Address

3 Lochside Avenue South Gyle Edinburgh EH12 9GE

Official Description

Sixteen non-illuminated fascia, box and projecting signs.

AI Summary

16 non-illuminated fascia, box and projecting signs around 3 Lochside Avenue to refresh branding at entrances and caf frontage. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04183/FUL

Reference Number:	25/04183/FUL	Date Received:	14 August 2025
Category:	Change of Use & Conversions	Scale Rating:	2/10

Property Address

47 Hawthornvale Newhaven Edinburgh EH6 4JT

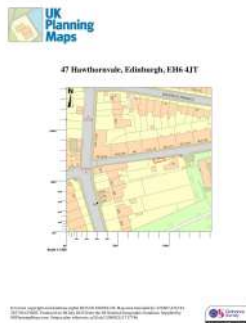
Official Description

Change the use of the building from class1a to class11.

AI Summary

Convert existing Class 1A retail unit to Class 11 leisure use, enabling gym/assembly activities with no major physical alterations. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04417/LBC

Reference Number:	25/04417/LBC	Date Received:	27 August 2025
Category:	Parking, Access & Highways	Scale Rating:	2/10

Property Address

7 East Brighton Crescent Portobello West Edinburgh EH15 1LR

Official Description

Proposed alterations to an existing dwelling including: 1. alterations to existing boundary wall to form new access gates. 2. new driveway and associated EV charging point to existing front garden.

AI Summary

Cuts 3.5 m of listed sandstone wall for wrought-iron gates, adds permeable stone driveway with built-in EV charger to the front garden. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04403/FUL

Reference Number:	25/04403/FUL	Date Received:	26 August 2025
Category:	Parking, Access & Highways	Scale Rating:	2/10

Property Address

7 East Brighton Crescent Portobello West Edinburgh EH15 1LR

Official Description

Proposed alterations to an existing dwelling including: 1. alterations to existing boundary to form a new driveway, access gates and associated EV charging point at property

AI Summary

Creates off-street driveway with wrought-iron gates, permeable stone surfacing and integrated EV charger; removes 3.5 m section of front boundary wall. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04375/FUL

Reference Number:	25/04375/FUL	Date Received:	25 August 2025
Category:	Windows, Doors & Glazing	Scale Rating:	2/10

Property Address

BF 6 Rothesay Terrace New Town Edinburgh EH3 7RY

Official Description

Replace windows to rear, form 2 new en suite shower rooms.

AI Summary

Rear timber windows swapped for like-for-like double-glazed units; internal layout tweaks create two new en-suite showers off existing bedrooms. .

Supporting Documents



Small text block, likely a reference or note.

Additional Information

[View full application on planning portal](#)



Application 25/04302/FUL

Reference Number:	25/04302/FUL	Date Received:	20 August 2025
Category:	Landscaping, Gardens & Boundaries	Scale Rating:	2/10

Property Address

7 Bristo Square Southside Edinburgh EH8 9AL

Official Description

Increase in the height of part of the external metal grid fencing surrounding external escape stair.

AI Summary

Raises part of the metal mesh fence around an external escape stair to boost safety and screening. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04268/LBC

Reference Number:	25/04268/LBC	Date Received:	19 August 2025
Category:	Change of Use & Conversions	Scale Rating:	2/10

Property Address

3,4 East Norton Place Abbeyhill Edinburgh EH7 5DR

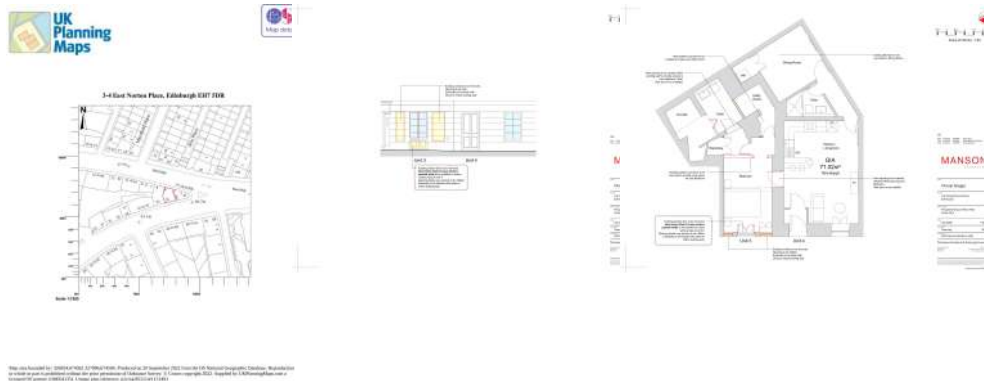
Official Description

Replace non-original entrance door to No.3 East Norton Place with a timber sash and case window. Remove non-original slot windows and infill with blonde sandstone. Create new opening in the wall between No.3 and No.4 East Norton Place to create a single unit. This was how the property was laid out prior to 2000.

AI Summary

Swap modern door for traditional sash window, infill several slot openings with matching sandstone, and reopen wall to link Nos 3 & 4 into one unit. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04475/CLP

Reference Number:	25/04475/CLP	Date Received:	29 August 2025
Category:	Roof Works & Dormers	Scale Rating:	2/10

Property Address

6 Ormelie Terrace Portobello East Edinburgh EH15 2EX

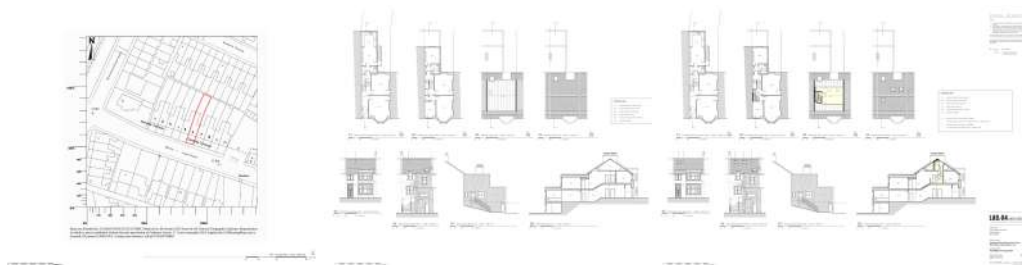
Official Description

Proposed alterations to an existing dwelling including; 1. proposed internal stair to provide improved access to storage space within attic. 2. proposed velux rooflights to be added to existing pitched roof

AI Summary

Adds new internal stair for attic access and installs several Velux rooflights in the pitched roof, unlocking extra loft storage. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04481/CLP

Reference Number:	25/04481/CLP	Date Received:	29 August 2025
Category:	Change of Use & Conversions	Scale Rating:	2/10

Property Address

2 Clermiston Loan Barnton Edinburgh EH4 7PE

Official Description

Existing garage will be altered and converted into a dining space to serve the existing house. Works to include internal modifications and installation of appropriate windows and doors to ensure space is suitable for residential use.

AI Summary

Integral garage becomes insulated dining room with new full-height glazing and internal layout tweaks, footprint unchanged. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04444/LBC

Reference Number:	25/04444/LBC	Date Received:	28 August 2025
Category:	Internal Works & Accessibility	Scale Rating:	2/10

Property Address

4 Gloucester Lane 1 - 3 Gloucester Lane Stockbridge Edinburgh EH3 6ED

Official Description

Consent to create a break through door way from 4 gloucester Lane to 1-3 gloucester lane.

AI Summary

New internal doorway linking No. 4 to Nos. 1-3 Gloucester Lane, opening the ground-floor kitchens/dining areas into a single connected space. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04415/FUL

Reference Number:	25/04415/FUL	Date Received:	27 August 2025
Category:	Outbuildings & Ancillary Structures	Scale Rating:	2/10

Property Address

10 West Brighton Crescent Portobello West Edinburgh EH15 1LU

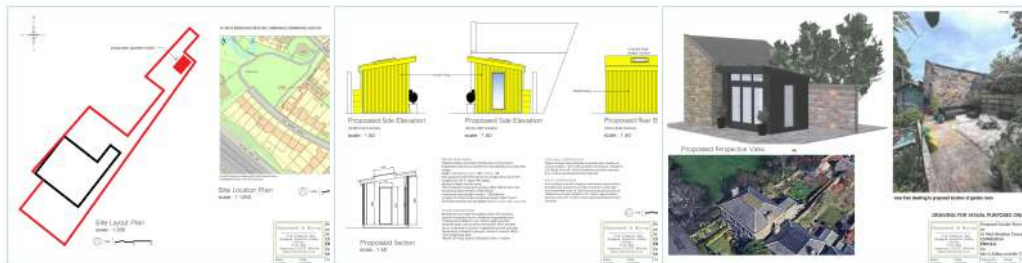
Official Description

Erection of hardwood timber garden room at bottom of garden.

AI Summary

Hardwood garden room with glazed bifolds, sedum-ready sloped roof and skylight proposed at rear boundary, adding flexible ancillary space. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04386/LBC

Reference Number:	25/04386/LBC	Date Received:	25 August 2025
Category:	Internal Works & Accessibility	Scale Rating:	2/10

Property Address

15A Walker Street Edinburgh EH3 7NE

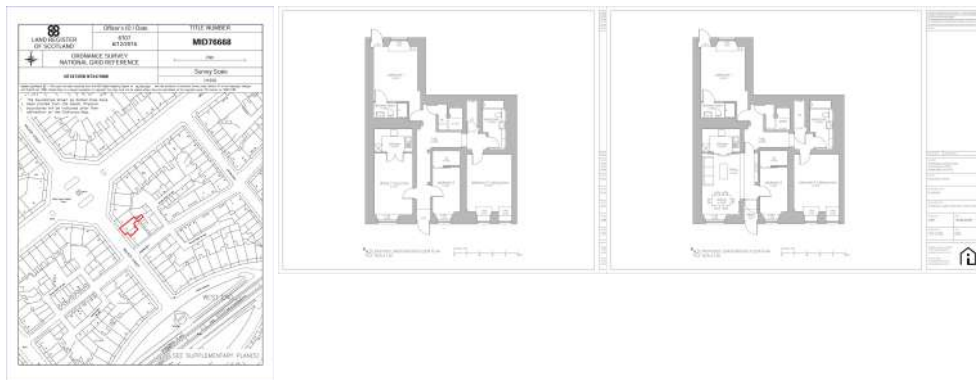
Official Description

Remove part of an internal wall to create a larger dining/living space and to create a slapping to a rear storage room.

AI Summary

Internal wall partially removed to create open-plan kitchen-dining-living area; new doorway into rear store improves circulation. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04318/FUL

Reference Number:	25/04318/FUL	Date Received:	21 August 2025
Category:	Internal Works & Accessibility	Scale Rating:	2/10

Property Address

12 Lennox Street Lane Edinburgh EH4 1PZ

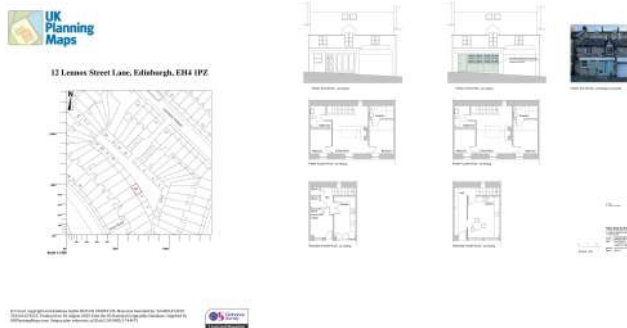
Official Description

Proposed ground floor alterations.

AI Summary

Replaces lane-side garage door with glazed timber frontage and reconfigures ground floor for open-plan kitchen/living, retaining existing footprint. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04287/FUL

Reference Number:	25/04287/FUL	Date Received:	20 August 2025
Category:	Roof Works & Dormers	Scale Rating:	2/10

Property Address

7 Southfield Road East Edinburgh EH15 1QP

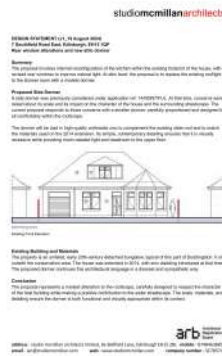
Official Description

Alter rear windows and replace the existing roof light with a dormer.

AI Summary

Revised rear windows plus modest zinc-clad dormer replacing rooflight, adding headroom and daylight to the attic of the detached bungalow. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04483/FUL

Reference Number:	25/04483/FUL	Date Received:	01 September 2025
Category:	Roof Works & Dormers	Scale Rating:	2/10

Property Address

Flat 17 27 Dean Park Street Edinburgh EH4 1JY

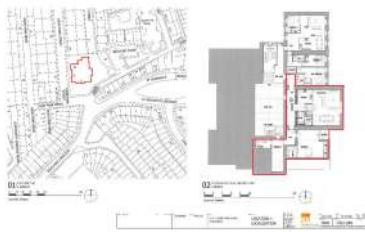
Official Description

Proposed roof terrace and access.

AI Summary

Adds private roof terrace with new access stair to Flat 17, boosting outdoor space while leaving building footprint untouched. .

Supporting Documents



27 Dean Park Street,
Design and Sustainability
Statement
August 2025

- Contents:
- 1. Introduction
 - 2. Site Appraisal
 - 3. Design Statement
 - Concept
 - Design Solution
 - 4. Sustainability Statement

Additional Information

[View full application on planning portal](#)

Application 25/04412/ADV

Reference Number:	25/04412/ADV	Date Received:	27 August 2025
Category:	Shopfront & Signage	Scale Rating:	2/10

Property Address

242A Crewe Road North Edinburgh EH5 1LW

Official Description

Projecting Sign. Steel pole with projecting sign attached.

AI Summary

Black steel pole on the forecourt supports a round, non-illuminated Pepes Piri Piri sign projecting toward the pavement. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04385/ADV

Reference Number:	25/04385/ADV	Date Received:	25 August 2025
Category:	Shopfront & Signage	Scale Rating:	2/10

Property Address

**Edinburgh Hindu Mandir And Cultural Centre 2 St Andrew Place South
Leith Edinburgh EH6 7EG**

Official Description

Advertisement of the following types : Fascia Sign, Flag.

AI Summary

New fascia sign above entrance and small rooftop flagpole displaying mandir emblem at St Andrews Place. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04357/FUL

Reference Number:	25/04357/FUL	Date Received:	22 August 2025
Category:	Mechanical Plant, Flues & Ventilation	Scale Rating:	2/10

Property Address

8 Geissler Drive North Leith Edinburgh EH6 6AP

Official Description

Installation of external air conditioning condensers and cages including housing, (in retrospect).

AI Summary

External AC condensers fitted at ground floor, screened by charcoal-grey steel louvred enclosure aligned with existing cladding. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04355/FUL

Reference Number:	25/04355/FUL	Date Received:	22 August 2025
Category:	Roof Works & Dormers	Scale Rating:	2/10

Property Address

57 Oxgangs Road Swanston Edinburgh EH10 7BD

Official Description

Conversion of attic space with 3no rooflights and introduction of solar panels.

AI Summary

Converts loft into multi-use space, adds three rooflights and roof-mounted solar panels; no change to footprint or ridge height. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04345/CLP

Reference Number:	25/04345/CLP	Date Received:	21 August 2025
Category:	External Lighting & Fixtures	Scale Rating:	2/10

Property Address

8 Hillside Crescent Edinburgh EH7 5FH

Official Description

The removal of areas of existing render cladding and insulation to the rear courtyard of Elliott House and replacement with new insulation and render cladding as identified on the proposed drawings. The removal of two planters from the rear courtyard.

AI Summary

Rear courtyard render and insulation at Elliott House stripped and renewed; two fixed planters removed for a cleaner, upgraded facade finish. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04288/FUL

Reference Number:	25/04288/FUL	Date Received:	20 August 2025
Category:	Outbuildings & Ancillary Structures	Scale Rating:	2/10

Property Address

15 Woodhall Road Colinton Edinburgh EH13 0DT

Official Description

Erect a timber shed and timber greenhouse within the garden grounds.

AI Summary

Timber shed and cedar-framed greenhouse proposed in rear garden, introducing small ancillary structures without altering the main house. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04228/FUL

Reference Number:	25/04228/FUL	Date Received:	18 August 2025
Category:	Change of Use & Conversions	Scale Rating:	2/10

Property Address

324 Morningside Road Morningside Edinburgh EH10 4QJ

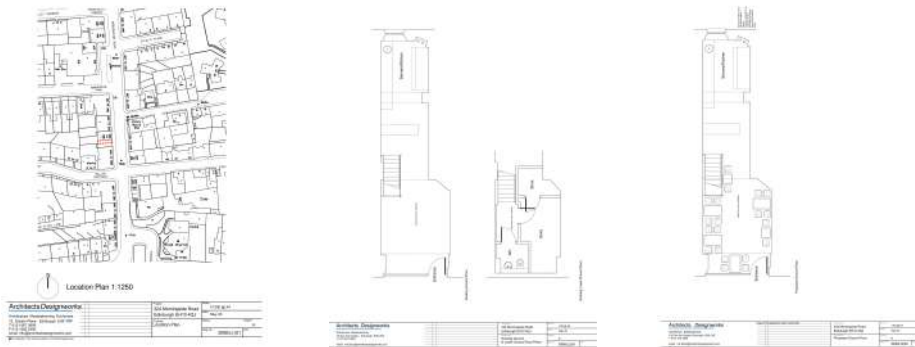
Official Description

Change of Use from class 1 to class 3 restaurant.

AI Summary

Former shop at 324 Morningside Rd could become a class-3 restaurant with new servery, kitchen and indoor seating within the existing unit. .

Supporting Documents



Additional Information

[View full application on planning portal](#)

Application 25/04100/LBC

Reference Number:	25/04100/LBC	Date Received:	11 August 2025
Category:	Windows, Doors & Glazing	Scale Rating:	2/10

Property Address

21B Drumsheugh Gardens Edinburgh EH3 7RN

Official Description

To replace the current full length glass doors with laminated white wood double doors complete with Georgian bars.

AI Summary

Swap full-height glass doors for white timber French doors with Georgian bars to better match the stone rear elevation. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04450/CLP

Reference Number:	25/04450/CLP	Date Received:	28 August 2025
Category:	External Lighting & Fixtures	Scale Rating:	2/10

Property Address

Scottish Parliament 1 Horse Wynd Old Town Edinburgh EH99 1SP

Official Description

New public access defibrillator and cabinet located within the external landscape grounds of the Scottish Parliament. Defibrillator cabinet will be located next to existing totem signage outside the main public exit.

AI Summary

Install a publicly accessible defibrillator in a weather-resistant cabinet beside the Scottish Parliaments main exit, boosting on-site emergency cover. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04327/LBC

Reference Number:	25/04327/LBC	Date Received:	21 August 2025
Category:	Windows, Doors & Glazing	Scale Rating:	2/10

Property Address

7A Clarence Street Edinburgh EH3 5AE

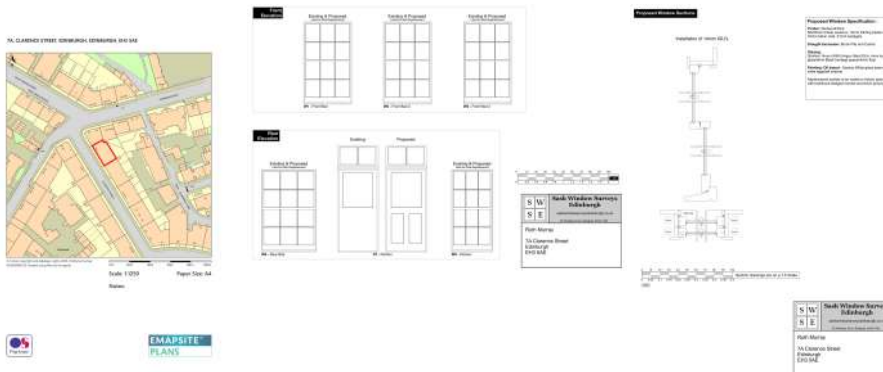
Official Description

Replacement of existing timber windows on a like-for-like basis with new windows, custom-fitted with slimline IGUs. All historical detail to be matched /reinstated.

AI Summary

Swap existing timber sash windows for slimline double-glazed replicas, matching original profiles to preserve faade character. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04292/LBC

Reference Number:	25/04292/LBC	Date Received:	20 August 2025
Category:	Windows, Doors & Glazing	Scale Rating:	2/10

Property Address

4 Greenhill Terrace Edinburgh EH10 4BS

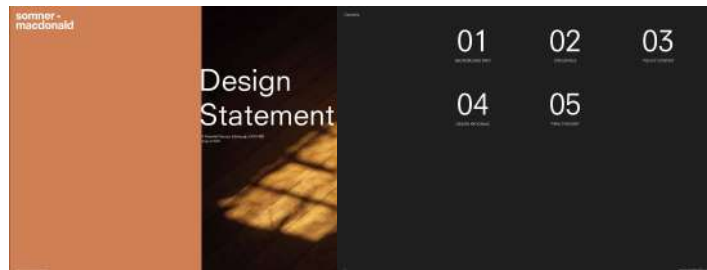
Official Description

Internal alterations and widen existing window and door on rear elevation.

AI Summary

Reconfigures internal layout and enlarges rear window and door to boost light and garden connection. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04173/FUL

Reference Number:	25/04173/FUL	Date Received:	13 August 2025
Category:	Change of Use & Conversions	Scale Rating:	2/10

Property Address

24B Stenhouse Place West Stenhouse Edinburgh EH11 3JW

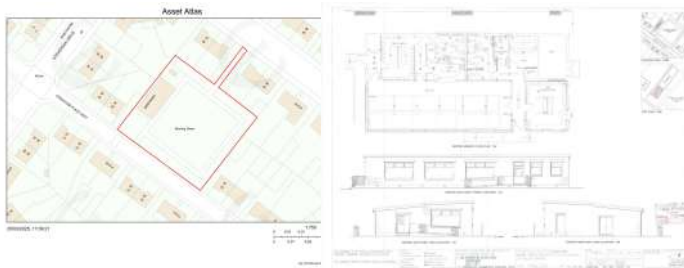
Official Description

Change of Use from Class 11 to Class 10.

AI Summary

Former bowling club may shift from leisure to Class 10 non-residential use, keeping the building largely intact aside from potential minor internal tweaks. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04110/LBC

Reference Number:	25/04110/LBC	Date Received:	11 August 2025
Category:	Windows, Doors & Glazing	Scale Rating:	2/10

Property Address

29 Bellevue Place Edinburgh EH7 4BS

Official Description

Remove cracked Georgian wired single glazed panes from cupola and install new double glazed (4/4/4) slimline toughened safety glass.

AI Summary

Cupolas cracked singleglazed Georgian wired panes would be swapped for slimline 4-4-4 toughened double glazing to boost safety and insulation. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04414/LBC

Reference Number:	25/04414/LBC	Date Received:	27 August 2025
Category:	Outbuildings & Ancillary Structures	Scale Rating:	2/10

Property Address

10 West Brighton Crescent Portobello West Edinburgh EH15 1LU

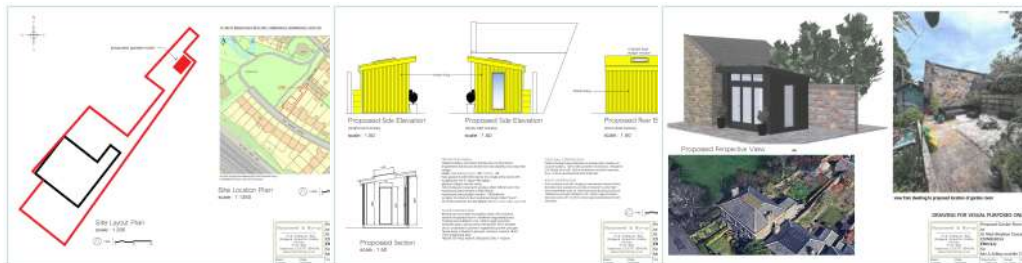
Official Description

Erection of hardwood timber garden room at bottom of garden.

AI Summary

Hardwood timber garden room with vertical cladding, bi-fold glazed doors, side window and rooflight, positioned at back boundary. .

Supporting Documents



Additional Information

[View full application on planning portal](#)

Application 25/04398/ADV

Reference Number:	25/04398/ADV	Date Received:	26 August 2025
Category:	Shopfront & Signage	Scale Rating:	1/10

Property Address

13A Riversdale Crescent Edinburgh EH12 5XN

Official Description

Erect a vinyl adhesive sign that contains our Curl Edinburgh logo and an arrow pointing to the front door.

AI Summary

Vinyl directional sign with Curl Edinburgh logo to be fixed to faade, guiding visitors toward main entrance. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04382/LBC

Reference Number:	25/04382/LBC	Date Received:	25 August 2025
Category:	Roof Works & Dormers	Scale Rating:	1/10

Property Address

3F2 374 Leith Walk Edinburgh EH7 4PE

Official Description

Installation of 1 skylight.

AI Summary

One slim rooflight added between existing dormers to brighten a third-floor room, with negligible change to the slate roofline. .

Supporting Documents



Additional Information

[View full application on planning portal](#)



Application 25/04169/WINPA

Reference Number:	25/04169/WINPA	Date Received:	13 August 2025
Category:	Windows, Doors & Glazing	Scale Rating:	1/10

Property Address

PF1 4 Starbank Road Edinburgh EH5 3BW

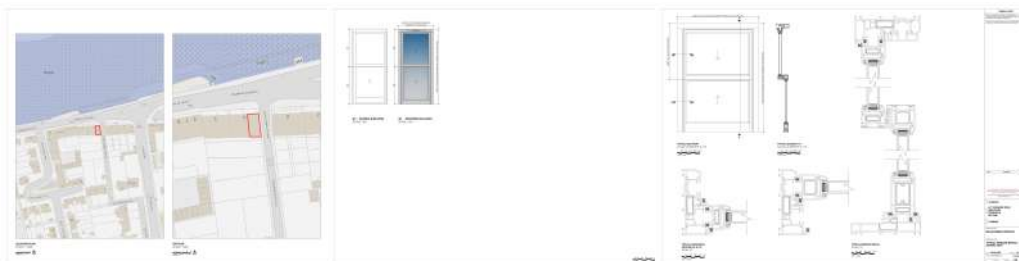
Official Description

Replacement of existing timber sash and case window for new double glazed Pvcu sliding sash window.

AI Summary

Single timber sash to be swapped for double-glazed PVCu sliding sash in same opening, retaining sash look. .

Supporting Documents



Additional Information

[View full application on planning portal](#)